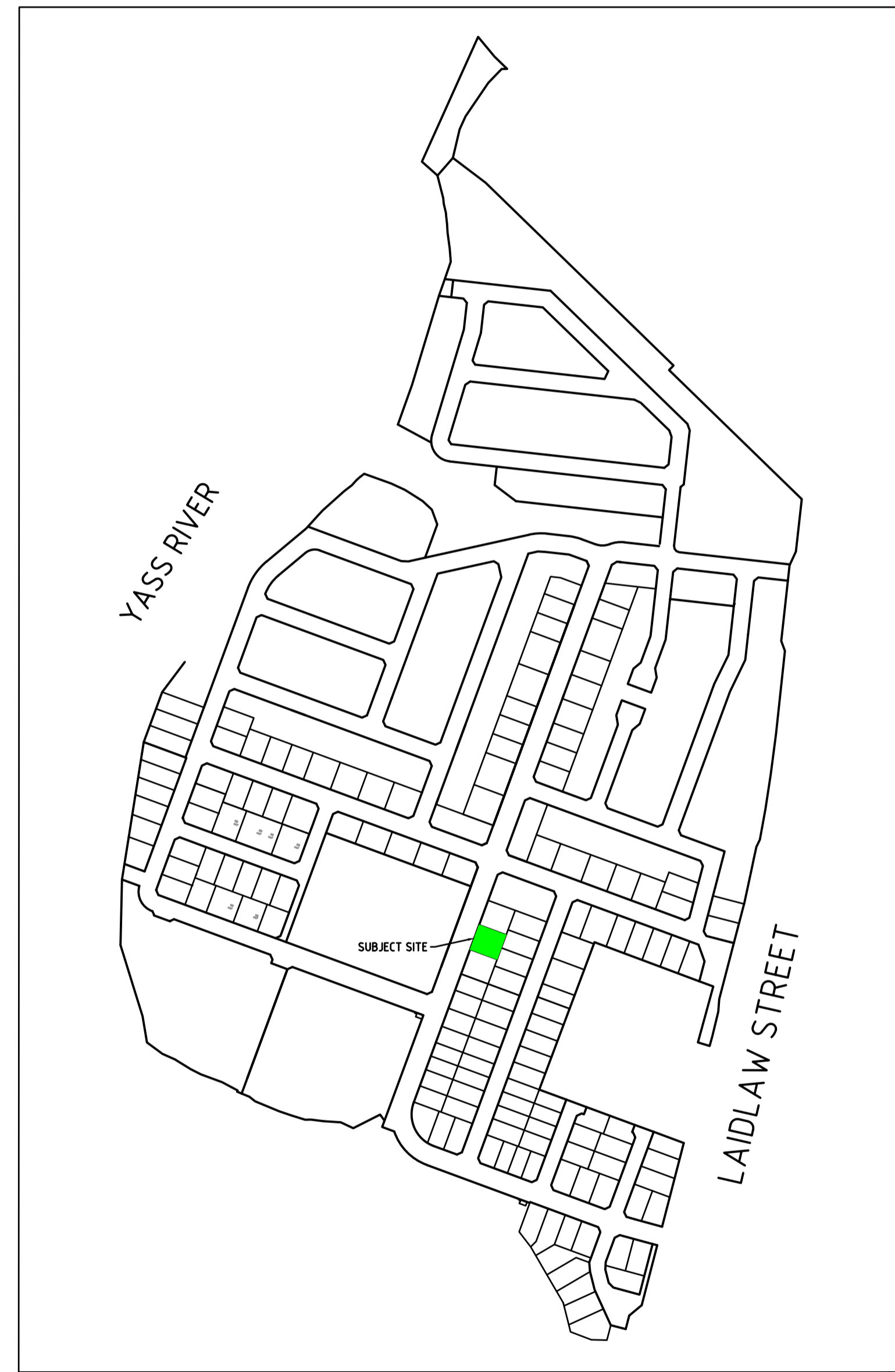




DETAIL PLAN



LOCALITY PLAN

MAX GFA	504 sqm #1
MINIMUM LANDSCAPE	308 sqm #2
MINIMUM LANDSCAPE FORWARD OF BL	31 sqm #2
MINIMUM LANDSCAPE REAR OF BL	154 sqm #2
FRONT SETBACK TO BL BUILD LINE	4.5 m #3
FRONT SETBACK TO GARAGE	BL + 1m
SIDE SETBACK TO 4.5m HIGH	1.5m
SIDE SETBACK 4.5m TO 8.5m HIGH	1.5 + 0.25M PER METRE ABOVE 4.5
REAR SETBACK TO 4.5m HIGH	3m
REAR SETBACK 4.5m TO 8.5m HIGH	8m
MIN SETBACK BETWEEN DETACHED DUPLEX DWELLINGS	3m

#1 MAX GFA IS THE MAXIMUM GFA FOR THE LOT (INCLUDES BOTH DWELLINGS)
 #2 LANDSCAPE AREA MIN REQUIREMENTS ARE FOR THE LOT (INCLUDES BOTH DWELLINGS)
 #3 FRONT SETBACK LINE CAN ALSO BE DETERMINED USING AVERAGED SETBACK
 SEE NOTE 6 BELOW

ADDITIONAL REQUIREMENTS:

- DUPLEXES ARE NOT TO BE JOINED AND MUST BE SETBACK 15 METRES FROM THE PROPERTY BOUNDARY CREATED BETWEEN THE TWO DWELLINGS.
- GFA INCLUDES ALL ENCLOSED FLOORED AREAS EXCLUDING GARAGES AND VOIDS TO UPPER LEVELS.
- LANDSCAPE AREAS MUST BE 15 METRES MINIMUM WIDTH / DEPTH TO COUNT TOWARDS AREA REQUIREMENT.
- MAXIMUM GARAGE DOOR WIDTH OF 12M APPLIES TO THE PRIMARY FRONTAGE COMBINED FOR BOTH DWELLINGS, ADDITIONAL GARAGING INTERNALLY OR TO A SECONDARY FRONTAGE IS ALLOWABLE.
- BL 'BUILDING LINE' IS THE ENCLOSED WALL OF THE HOME CLOSEST TO THE PRIMARY STREET FRONTAGE.
- SETBACKS CAN ALSO BE DETERMINED BY AVERAGING THE SETBACK TO BL OF THE TWO ADJACENT DWELLINGS IF THEY ARE WITHIN 40 METRES ON THE SAME STREET.
- SETBACKS ARE TO THE WALL OF THE DWELLING. EAVES, SCREENS, UNROOFED AND ROOFED DECKS AND VERANDAHS CAN PROTRUDE BEYOND THE SETBACK LINE.
- UP TO 25% OF THE AREA FORWARD OF THE FRONT SETBACK CAN INCORPORATE EAVES, SCREENS, ROOFED AND UNROOFED DECKS AND VERANDAHS, WHICH CAN PROTRUDE UP TO 15 METRES FORWARD OF THE BL.
- MINIMUM DWELLING WIDTH TO THE PRIMARY FRONTAGE IS 5 METRES WITHOUT A GARAGE AND 6.5 METRES WIDE INCLUDING A GARAGE.
- MINIMUM DUPLEXED LOT SIZE IS 408SQM FOR ANY DWELLING AND MINIMUM PRIMARY FRONTAGE IS 13 METRES.
- DECKS, BALCONIES, PATIOS TERRACES OR VERANDAHS TO THE REAR CANNOT HAVE A FLOOR LEVEL OVER 4 METRES ABOVE GL.
- THE MAXIMUM FLOOR AREA OF ALL DECKS, PATIOS, BALCONIES, TERRACES OR VERANDAHS WITH A FLOOR LEVEL MORE THAN 2 METRES ABOVE GL IS 12 SQM.
- GL IS CONSIDERED TO BE THE GROUND LEVEL FOLLOWING SUBDIVISION. MAXIMUM HEIGHT IS 8.5 METRES ABOVE GL.
- ALL DWELLINGS MUST FRONT TO THE PRIMARY STREET FRONTAGE, EXCLUDING DUPLEXES ON CORNER LOTS WHERE THE SECOND DWELLING CAN FRONT TO THE SECONDARY STREET FRONTAGE.
- ALL BEDROOMS FACING THE STREET MUST INCLUDE A WINDOW FACING THE STREET.
- WINDOWS AND BALCONIES REQUIRE SCREENING ELEMENTS WHERE THE FLOOR LEVEL IS OVER 1 METRE ABOVE GL. REFER TO THE COMPLYING DEVELOPMENT DOCUMENT FOR DETAILS OF ACCEPTABLE SCREENS.
- A PRINCIPAL PRIVATE OPEN SPACE AREA OF 16 SQM IS REQUIRED FOR EACH DWELLING (MINIMUM DIMENSION OF 3 METRES REQUIRED)

LOT LAYOUT - SCALE 1:200 (A1)

REVISION - C

DATE 8.12.2023

LEGEND	
LOT BOUNDARY	—
FINISHED SURFACE CONTOURS (1m)	—590—
BLOCK AREA / BOUNDARY LENGTH	400m ² 4.54
BLOCK BEARING	90°00'00"
FUTURE LOT BOUNDARY	—
STORMWATER	—
SEWER	—
WATER	—
SERVICES TRENCH (Electricity & NBN)	—
STREETLIGHT	☀
SUBSTATION	⊞
ELECTRICAL PILLAR / PIT	⊞
NBN PIT	⊞
DRIVEWAY LOCATION	—
STREET TREE	⊙
PATH (1.5 - 2.4m wide)	—
MAX HEIGHT 8.5m	■
MAX HEIGHT 4.5m	■

NOTE: THIS DOCUMENT PROVIDES AN EXAMPLE OF THE FEATURES OF A DUAL OCCUPANCY (DETACHED) DEVELOPMENT THAT MAY BE POSSIBLE UNDER PART 3B OF THE STATE ENVIRONMENTAL PLANNING POLICY (EXEMPT AND COMPLYING DEVELOPMENT CODES) 2008 ONLY. THIS DOCUMENT DOES NOT RESTRICT A PURCHASER FROM APPLYING FOR APPROVAL TO CONSTRUCT A DETACHED DWELLING HOUSE UNDER PART 3 OF THE STATE ENVIRONMENTAL PLANNING POLICY (EXEMPT AND COMPLYING DEVELOPMENT CODES) 2008 OR FROM APPLYING FOR A DEVELOPMENT APPROVAL UNDER PART 4 OF THE ENVIRONMENTAL PLANNING AND ASSESSMENT ACT 1979 (NSW).

THE STATE ENVIRONMENTAL PLANNING POLICY (EXEMPT AND COMPLYING DEVELOPMENT CODES) 2008 INCLUDES THE HOUSING CODE AND LOW RISE HOUSING DIVERSITY CODE PROVIDING FOR SINGLE DWELLINGS AND DUAL OCCUPANCY DEVELOPMENT TO BE UNDERTAKEN AS COMPLYING DEVELOPMENT ON CERTAIN LAND AND UNDER CERTAIN CIRCUMSTANCES.

FOR SINGLE DWELLINGS REFER [HTTPS://LEGISLATION.NSW.GOV.AU/VIEW/HTML/INFORCE/CURRENT/EPI-2008-0572](https://legislation.nsw.gov.au/view/html/inforce/current/epi-2008-0572)

FOR DUAL OCCUPANCY DEVELOPMENT REFER TO THE LOW RISE HOUSING DIVERSITY CODE - (NSW.GOV.AU) [HTTPS://WWW.PLANNING.NSW.GOV.AU/POLICY-AND-LEGISLATION/HOUSING/LOW-RISE-HOUSING-DIVERSITY-CODE/THE-LOW-RISE-HOUSING-DIVERSITY-CODE](https://www.planning.nsw.gov.au/policy-and-legislation/housing/low-rise-housing-diversity-code/the-low-rise-housing-diversity-code)

DESIGN GUIDES FOR LOW RISE HOUSING DIVERSITY - (NSW.GOV.AU) [HTTPS://WWW.PLANNING.NSW.GOV.AU/POLICY-AND-LEGISLATION/HOUSING/LOW-RISE-HOUSING-DIVERSITY-CODE/DESIGN-GUIDES-FOR-LOW-RISE-HOUSING-DIVERSITY](https://www.planning.nsw.gov.au/policy-and-legislation/housing/low-rise-housing-diversity-code/design-guides-for-low-rise-housing-diversity)

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2. THE LOT DISCLOSURE PLAN DOES NOT CONSTITUTE AN APPROVAL FOR ANY DEVELOPMENT ON THE PROPERTY. THE PURCHASER IS RESPONSIBLE FOR OBTAINING ALL APPROVALS REQUIRED FOR ANY PROPOSED DEVELOPMENT OF THE PROPERTY (INCLUDING ALL APPROVALS REQUIRED FOR A DUAL OCCUPANCY DEVELOPMENT (OR ANY OTHER TYPE OF RESIDENTIAL DEVELOPMENT) UNDER THE STATE ENVIRONMENTAL PLANNING POLICY (EXEMPT AND COMPLYING DEVELOPMENT CODES) 2008 (CODE SEPP). THE VENDOR MAKES NO WARRANTY THAT THE PURCHASER WILL OBTAIN APPROVAL FOR A DUAL OCCUPANCY DEVELOPMENT (OR ANY OTHER TYPE OF RESIDENTIAL DEVELOPMENT) UNDER THE CODE SEPP. THE PURCHASER SHOULD SEEK INDEPENDENT ADVICE AND RELY ON ITS OWN ENQUIRIES IN RESPECT OF ANY APPROVALS REQUIRED TO DEVELOP THE LAND.